

**AMENDMENT NUMBER TWO  
TO THE DECLARATION OF CONDOMINIUM OF  
LAKES PROFESSIONAL CENTER, A CONDOMINIUM**

***Relocation of Boundaries of Declarant-Owned Units 7 and 8***

Lakes Professional Center LLC, a New Hampshire limited liability company with an address of 11 Corporate Dr., Belmont, New Hampshire 03220, being the Declarant of Lakes Professional Center, A Condominium, and the owner of Units No. 4, No. 6, No. 7, and No. 8 in said Condominium hereby amends the Declaration of Condominium dated November 24, 2009, and recorded at the Belknap County Registry of Deeds ("BCRD") at Book 2610, Page 724, as amended by Amendment Number One dated November 2, 2010, recorded in BCRD Book 2673, Page 92 (the "Declaration"). This amendment is made pursuant to RSA 356-B:31 and Sections 4 and 6 of the Declaration so as to relocate the boundaries between the Units No.7 and No. 8, as further set forth in this instrument.

The Declarant shall cause a revised Condominium Floor Plan to be recorded simultaneously with this Amendment showing the altered vertical (perimeter) boundaries of Units No.7 and No. 8. The horizontal boundaries of Units No.7 and No. 8 shall remain unchanged. The boundaries, percentage undivided interests in the common elements, and the voting percentages of all Units other than Units No.7 and No. 8 shall remain unchanged.

Exhibit B to the Declaration setting forth the percentage undivided interest of each of the Units shall be deleted in its entirety and replaced with the following revised Exhibit B:

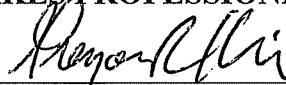
**Exhibit B**

The percentage undivided interest of each of the Units is as follows:

<b>Unit No.</b>	<b>Square Footage</b>	<b>% Interest</b>
<b>1</b>	2,797	17.65%
<b>2</b>	1,547	9.76%
<b>3</b>	1,494	9.43%
<b>4</b>	2,244	14.16%
<b>5</b>	2,078	13.11%
<b>6</b>	2,015	12.72%
<b>7</b>	1,871	11.81%
<b>8</b>	1,800	11.36%
<b>Total</b>	<b>15,846</b>	<b>100.00%</b>

The foregoing Amendment Number Two to the Declaration of Condominium of Lakes Professional Center, a Condominium, is executed by Lakes Professional Center, LLC (the Declarant) pursuant to Section 4 and 6 of the Declaration and RSA 356-B:31, II, III and IV, acting under its authority as the Declarant and owner of Units No. 7 and No. 8 to relocate the boundary walls of adjacent units owned by the Declarant and to reallocate the percentage undivided interests and voting rights of such units accordingly.

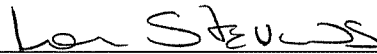
**LAKES PROFESSIONAL CENTER LLC**



By: Gregory R. Kirsch  
Its: Member, Duly Authorized

STATE OF NEW HAMPSHIRE    }  
COUNTY OF BELKNAP        }

Subscribed, sworn and acknowledged before me on this 7<sup>th</sup> day of June, 2011, by Gregory R. Kirsch, acting in his capacity as Member of Lakes Professional Center LLC.



NOTARY PUBLIC

My Commission Expires:



**ASSENT OF MORTGAGEE**

NORTHWAY BANK, a New Hampshire banking institution having a principal place of business at 9 Main Street, Berlin, New Hampshire (the "Mortgagee"), the holder of a mortgage lien on the Premises described in a Mortgage Deed (the "Mortgage") granted by LAKES PROFESSIONAL CENTER LLC, a New Hampshire limited liability company, with a mailing address of 11 Corporate Drive, Belmont, New Hampshire 03220 (the "Mortgagor"), dated September 9, 2009, and recorded in the Belknap County Registry of Deeds in Book 2595, Page 0558, hereby confirms its assent to the above Amendment Number Two to the Declaration of Condominium of Lakes Professional Center, a Condominium.

This Assent of Mortgagee is signed this 7<sup>th</sup> day of June, 2011.

**NORTHWAY BANK**

By: Jonathan J. Gould, SR

Jonathan J. Gould, Regional Vice President, Duly Authorized

STATE OF NEW HAMPSHIRE  
COUNTY OF BELKNAP

The foregoing instrument was acknowledged before me on June 7, 2011, by Jonathan J. Gould, in his capacity as the duly authorized Senior Vice President, of Northway Bank, on behalf of that bank.

Lora Stevens  
Notary Public/Justice of the Peace

My Commission Expires

