



Condominium Floor Plans

Condominium floor plans are one of the legal requirements to “declare” a condominium form of ownership of real estate in New Hampshire. The floor plans show the layout and location of the “units” within the buildings and provide details of the location of the boundaries of the units and the common areas. The floor plans should be read in conjunction with Section 3 of the Declaration of Condominium.

This “PDF” document contains two plans:

- CFP1 – Floor plan
- CFP2 – Plan of rooftop limited common areas (for location of HVAC units)

The unit layouts and boundaries are subject to change from time to time as we sell units in the buildings. These changes will not affect any units already under contract. Also, please note that the current version of the floor plans may not reflect the size of the unit that you have contracted to buy – don’t be concerned, these changes will be made in due course.

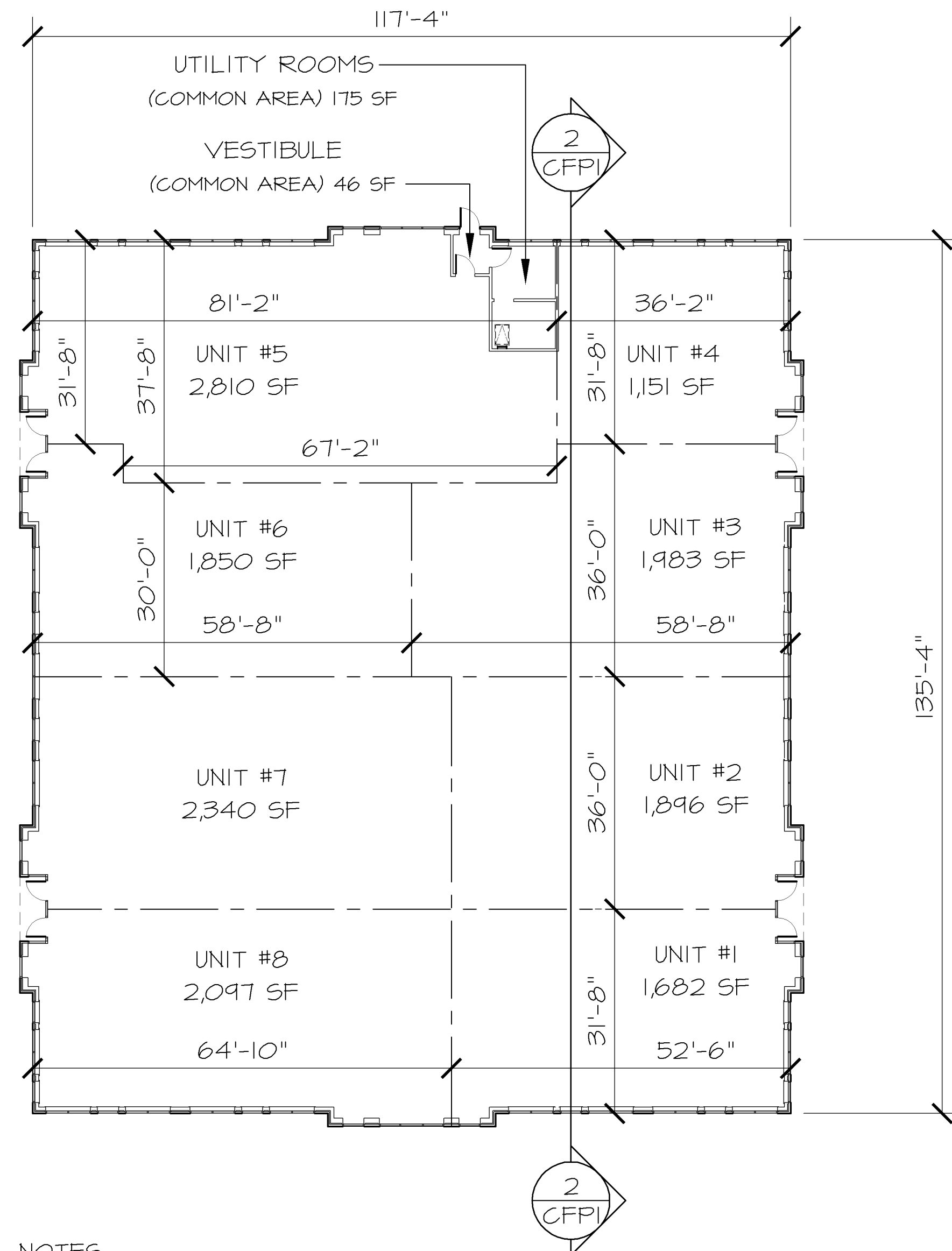
At some point around the time of completion of the building shell and prior to the closing of the shell unit sales, the Declaration of Condominium, the Condominium Floor Plans and the Condominium Site Plan will be finalized and recorded at the registry of deeds. Astoria’s intent is that the final recorded documents will be substantially identical to these drafts, with changes to reflect changes in the unit sizes in accordance with each unit purchase agreement, corrections of typographic errors, and minor changes that will not affect any buyer’s interests. All buyers with units under contract will be notified if and when updated documents are posted to the website www.LakesProfCenter.com.

Document Version Control
CFP1: 03/13/09
CFP2: 03/13/09

LAKES PROFESSIONAL CENTER, A CONDOMINIUM

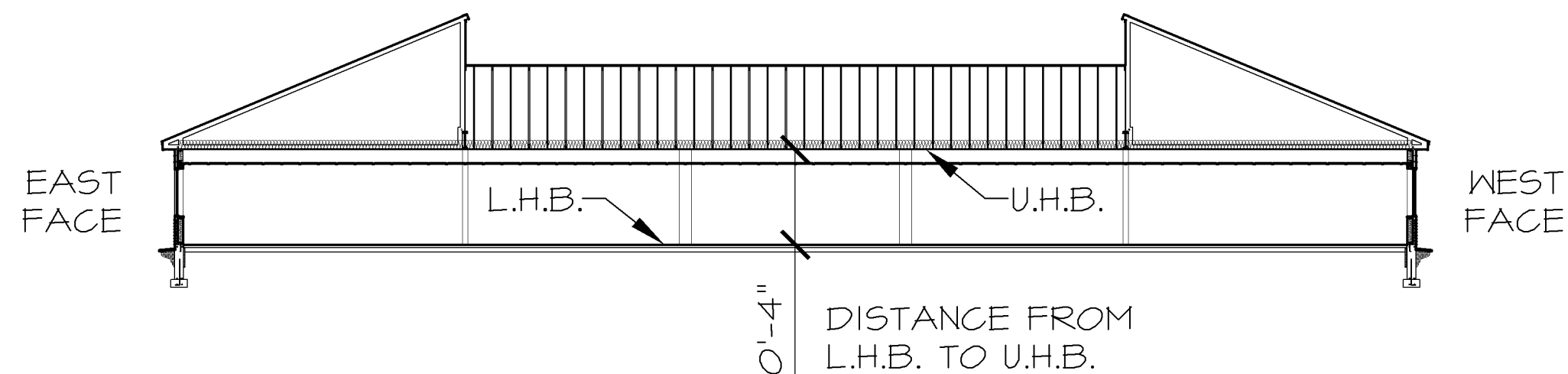
LAKES PROFESSIONAL CENTER CONSISTS OF ONE OFFICE BUILDING,
369 HOUNSELL AVE, GILFORD, NH

THE UNITS DEPICTED ON THIS PLAN ARE SUBSTANTIALLY COMPLETE AS DEFINED
IN SECTION 3.4 OF THE DECLARATION OF CONDOMINIUM



NOTES:
1. SQUARE FOOTAGE CALCULATED TO OUTSIDE OF EXTERIOR WALLS AND TO CENTER LINE OF INTERIOR (DEMISING) WALLS.
2. DIMENSIONS SHOWN FROM CENTER LINE OF UNIT DEMISING WALLS TO OUTSIDE MASONRY FACE OF EXTERIOR WALLS.
3. ALL DIMENSIONS ROUNDED TO THE NEAREST INCH.
4. DETAILS OF VERTICAL BOUNDARIES OF UNITS ARE SET FORTH IN SECTION 3.4 (C) OF THE DECLARATION OF CONDOMINIUM.

1 FLOOR PLAN
CFPI 1/16" = 1'-0"



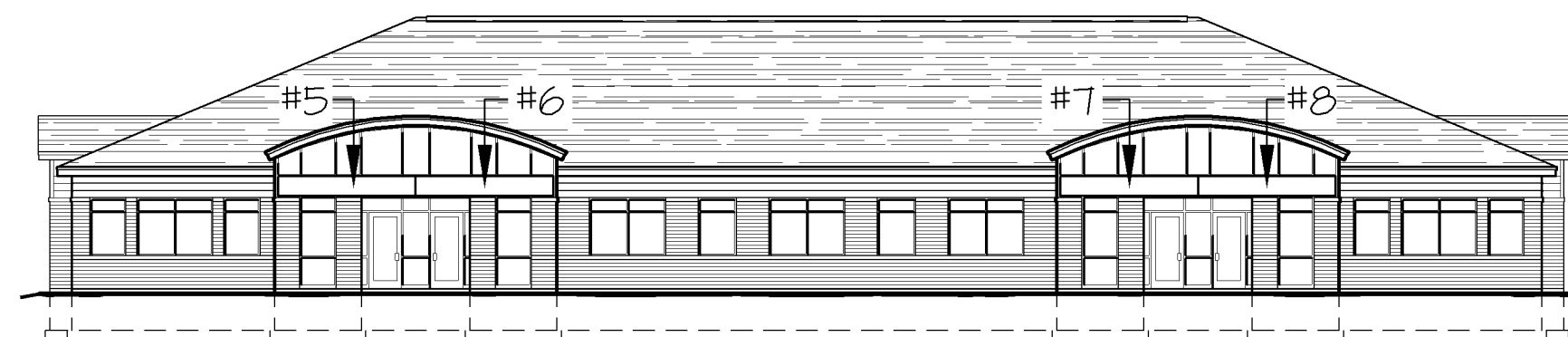
NOTES:
U.H.B. = PLANE(S) AT BOTTOM CHORD OF ROOF TRUSSES.
L.H.B. = IMAGINARY PLANE AT FINISHED FLOOR ELEVATION 49.3' ASL NGVD 29

2 BUILDING SECTION
CFPI 1/16" = 1'-0"

LAKES PROFESSIONAL CENTER
PLAN OF UNIT SIGNAGE (LIMITED COMMON AREAS)

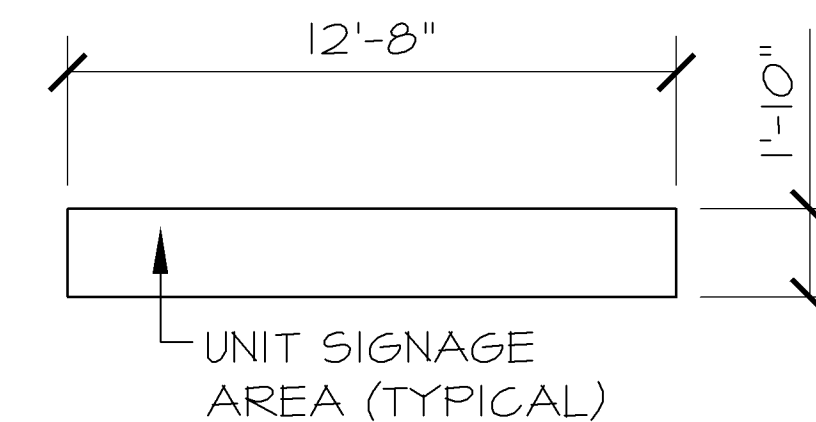


3 ELEVATION
CFPI 1/16" = 1'-0"



NOTES:
1. EACH UNIT SIGNAGE AREA IS A LIMITED COMMON AREA ASSIGNED TO THE UNIT UPON WHICH IT IS LOCATED.
2. UNIT SIGNAGE AREAS ARE INDICATED ON PLAN AS A WHITE BOX WITH A BLACK BORDER, BEARING THE APPLICABLE UNIT NUMBER.
3. SIGNAGE PLACED ON THE UNIT SIGNAGE AREA SHALL COMPLY WITH THE BY-LAWS AND REGULATIONS OF THE CONDOMINIUM ASSOCIATION.
4. EACH UNIT SIGNAGE AREA IS 23 SQ. FT. (1'-10" HIGH x 12'-8" WIDE).

4 ELEVATION
CFPI 1/16" = 1'-0"



5 UNIT SIGNAGE DETAIL
CFPI 1/4" = 1'-0"

CERTIFICATION

"I hereby certify that this plan is accurate and complies with RSA 356-B:20, II. Construction of the units depicted on this plan is substantially complete as defined in section 3.4 of the Declaration of Condominium."



CONSTRUCTION CORPORATION

11 CORPORATE DRIVE, BELMONT NH 03220
PHONE (603) 527-9090 FAX (603) 527-9191

REVISION SCHEDULE

| REV. # | DATE | DESCRIPTION | BY | APPR. |
|--------|------|-------------|----|-------|
| | | | | |

CONDOMINIUM FLOOR PLAN

FOR
LAKES PROFESSIONAL CENTER

369 HOUNSELL AVE
GILFORD
BELKNAP COUNTY
NEW HAMPSHIRE

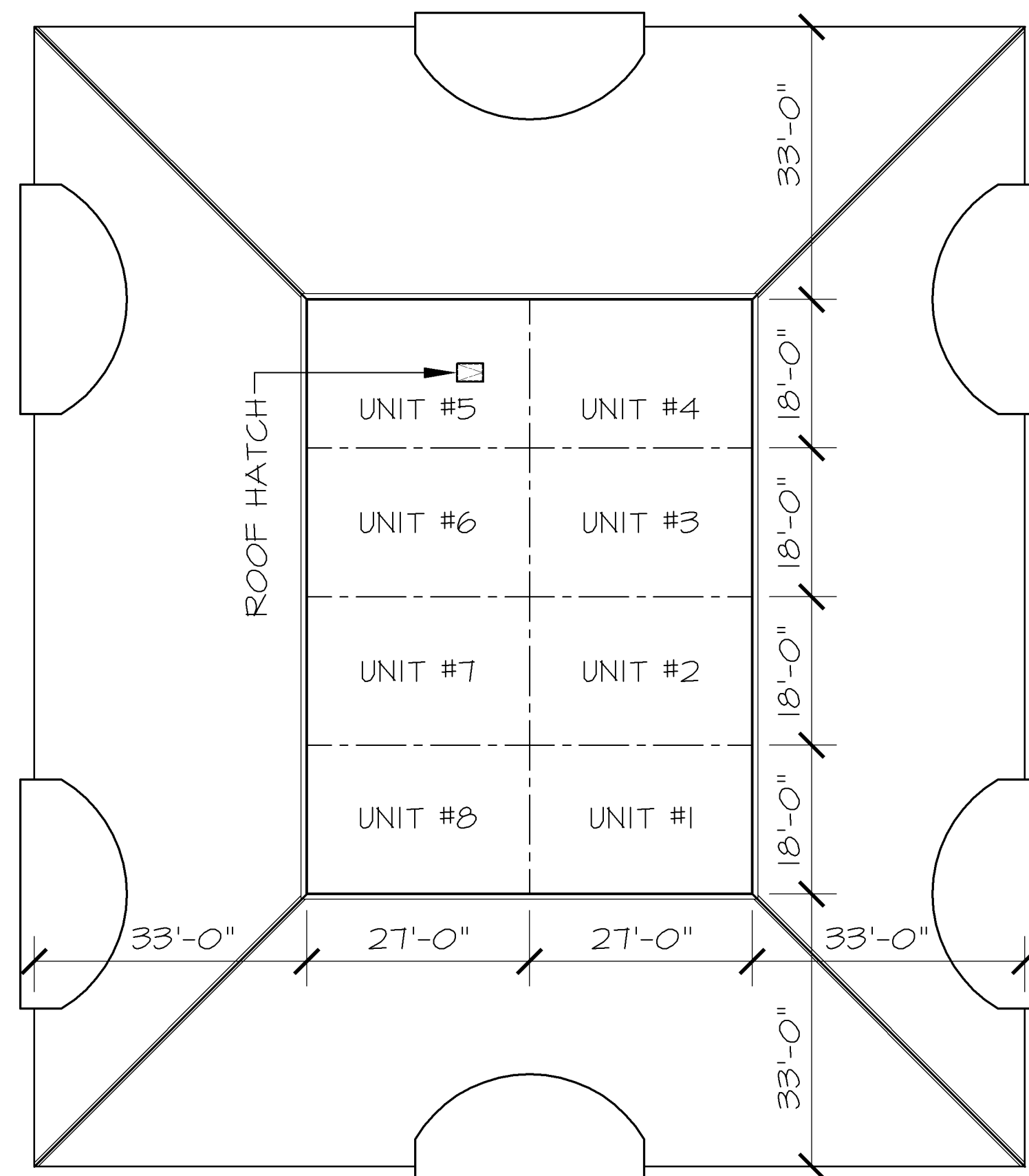
CFP1

DATE: 03/13/09

SCALE: AS NOTED

LAKES PROFESSIONAL CENTER, A CONDOMINIUM
 LAKES PROFESSIONAL CENTER CONSISTS OF ONE OFFICE BUILDING,
 369 HOUNSELL AVE, GILFORD, NH
 THE UNITS DEPICTED ON THIS PLAN ARE SUBSTANTIALLY COMPLETE AS DEFINED
 IN SECTION 3.4 OF THE DECLARATION OF CONDOMINIUM

369 HOUNSELL AVE, GILFORD, NH
 CONSTRUCTION OF THE UNITS DEPICTED ON THIS PLAN IS
 SUBSTANTIALLY COMPLETE AS DEFINED
 IN SECTION 3.4 OF THE DECLARATION OF CONDOMINIUM.



1 ROOF PLAN
 CFP2 1/16" = 1'-0"

RESTRICTIONS ON USE OF THE ROOFTOP LIMITED COMMON AREAS

1. EACH UNIT OWNER MAY USE THE ROOFTOP LIMITED COMMON AREA ("RLCA") THAT IS LOCATED ON THE LOW-SLOPE ROOF AREA THAT IS ASSIGNED TO HIS OR HER UNIT AS INDICATED ON THIS PLAN, LEAVING A 3 FOOT OPEN "BUFFER" AREA MEASURED FROM EACH IMAGINARY LINE SEPARATING THE RLCA FROM OTHER RCLAS.
2. ALL USE OF THE RLCA SHALL BE IN ACCORDANCE WITH THE PLAN, THESE RESTRICTIONS, THE DECLARATION OF CONDOMINIUM, AND ALL APPLICABLE BUILDING, ENVIRONMENTAL, AND LAND USE CODES, LAWS, AND REGULATIONS.
3. TOTAL EQUIPMENT LOADING OF A UNIT OWNER'S RLCA SHALL NOT EXCEED 10 POUNDS PER SQUARE FOOT MULTIPLIED BY THE SQUARE FOOT AREA OF THE RLCA.
4. NO EQUIPMENT SHALL EXCEED 5 FEET IN HEIGHT MEASURED FROM THE ROOF MEMBRANE.
5. NO EQUIPMENT SHALL BE PERMITTED THAT CREATES NOISE, VIBRATION, OR OTHER IMPACTS THAT WOULD CONSTITUTE A NUISANCE TO OTHER UNIT OWNERS.
6. ANY PENETRATION OF THE ROOF MEMBRANE OR PLACEMENT OF EQUIPMENT WEIGHING MORE THAN 50 POUNDS SHALL ONLY BE PERFORMED (A) IN ACCORDANCE WITH WRITTEN INSTRUCTIONS AND APPROVAL ISSUED BY OPECHEE CONSTRUCTION CORPORATION DURING THE PERIOD ENDING TWO YEARS AFTER THE DATE OF THE RECORDATION OF THE DECLARATION OF CONDOMINIUM AND (B) THEREAFTER IN ACCORDANCE WITH A WRITTEN REPORT BY A PROFESSIONAL ENGINEER CERTIFYING THE STRUCTURAL INTEGRITY OF THE INSTALLATION AND WITH THE WRITTEN APPROVAL OF THE CONDOMINIUM ASSOCIATION, WHICH APPROVAL SHALL BE DEEMED TO HAVE BEEN GIVEN 30 DAYS AFTER SUBMISSION OF A WRITTEN REQUEST AND PROFESSIONAL ENGINEERS REPORT UNLESS EARLIER REJECTED BY THE ASSOCIATION.
7. ALL FLASHING, CURBING AND OTHER ASPECTS OF ANY PENETRATION OF THE ROOF MEMBRANE SHALL BE PERFORMED BY CERTIFIED INSTALLERS USING THE METHODS AND MATERIALS SPECIFIED BY THE ROOF MEMBRANE MANUFACTURER AND IN ACCORDANCE WITH THE TERMS OF THE ROOF WARRANTY.
8. IN EACH BUILDING, A ROOF HATCH WILL BE LOCATED WITHIN THE UTILITY ROOM TO PROVIDE ACCESS TO THE ATTIC COMMON AREAS AND THE ROOFTOP LIMITED COMMON AREAS LOCATED ON THE LOW-SLOPE ROOF AREA. ACCESS TO THESE AREAS SHALL BE AVAILABLE TO THE ASSOCIATION AND UNIT OWNERS (AND THEIR CONTRACTORS AND/OR PROPERTY MANAGER), BUT SUCH ACCESS SHALL BE LIMITED TO NECESSARY INSPECTIONS, ADJUSTMENTS, REPAIRS, MAINTENANCE AND INSTALLATION OF ROOFTOP EQUIPMENT IN ACCORDANCE WITH THE DECLARATION OF CONDOMINIUM AND THE RULES OF THE ASSOCIATION.

CERTIFICATION

"I hereby certify that this plan is accurate and complies with RSA 356-B:20, II. Construction of the units depicted on this plan is substantially complete as defined in section 3.4 of the Declaration of Condominium."



CONSTRUCTION CORPORATION

11 CORPORATE DRIVE, BELMONT NH 03220
 PHONE (603) 527-9090 FAX (603) 527-9191

**CONDOMINIUM FLOOR PLAN
 FOR
 LAKES PROFESSIONAL CENTER**
 369 HOUNSELL AVE
 GILFORD
 BELKNAP COUNTY
 NEW HAMPSHIRE

| REVISION SCHEDULE | | | | |
|-------------------|------|-------------|----|-------|
| REV. # | DATE | DESCRIPTION | BY | APPR. |
| | | | | |

CFP2

DATE: 03/13/09
 SCALE: AS NOTED